

EXISTING PLANS

Harriet Festing | Center for Neighborhood Technology

Midlothian Community Meeting | March 12, 2015

- D1. Village Center District
- D2. Cicero/147th Commercial District
- D3. Bremen Heights Park Residential District
- D4. Koster Park Residential District
- D5. Memorial Park Residential District
- D6. Bremen High School Residential District
- C1-C3 Commercial Corridors
- C4 Midlothian Bike Blvd. Loop
- C5 Natalie Creek Walking Trail
- P1-P13 Parks



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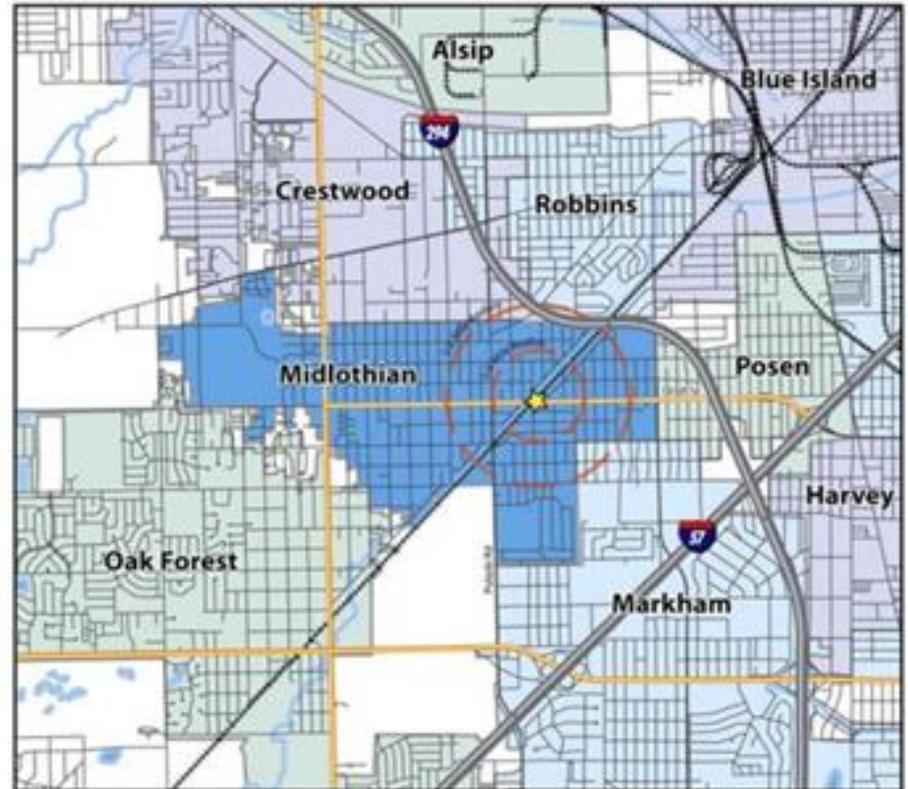
BENEFITS

- Bring economic, community + environmental benefits
- Enhance property values
- Use multiple funding sources e.g. transport \$
- Quick to install
- Spread the risks + benefits across the Village

2005 VILLAGE CENTER ENHANCEMENT PLAN

Key Goals

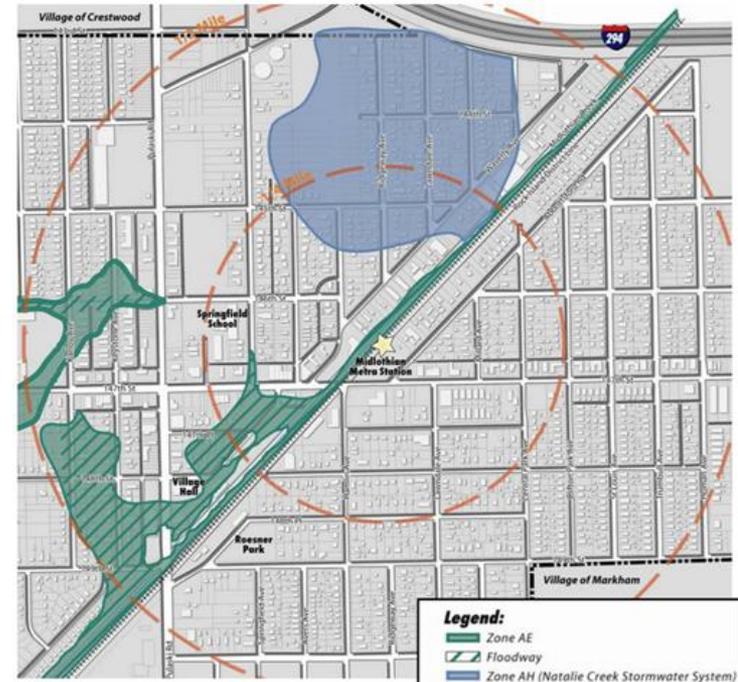
- Create a central place for the Midlothian community.
- Establish a pedestrian-oriented, mixed-use district.
- Improve the business mix and tax base of the Village.
- Maximize transit-oriented redevelopment opportunities.
- Improve pedestrian and vehicular access and circulation.
- Enhance the visual character and appeal of the Study Area.



2005 VILLAGE CENTER ENHANCEMENT PLAN

Location of Floodways and Floodplains

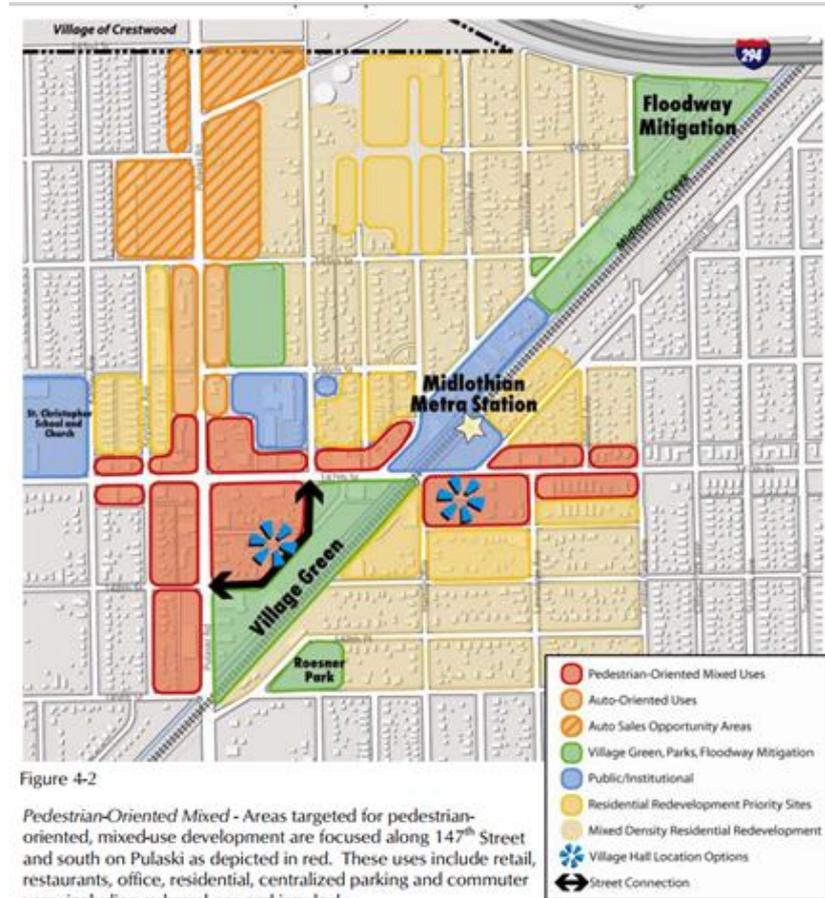
- The floodway area generally is the channel where the majority of the flow of water is occurring. **The most sustainable approach to development is to keep all development outside of the floodway.**
- The floodplain area generally is outside the limits of the floodway where there is not too much flow, but instead water backs up into these areas as the waterway elevation rises. Developing land outside of the floodplain is not always possible, however **keeping the floodplain in its natural state will reduce the long-term flooding issues a community will have.**



2005 VILLAGE CENTER ENHANCEMENT PLAN

Preferred Concept

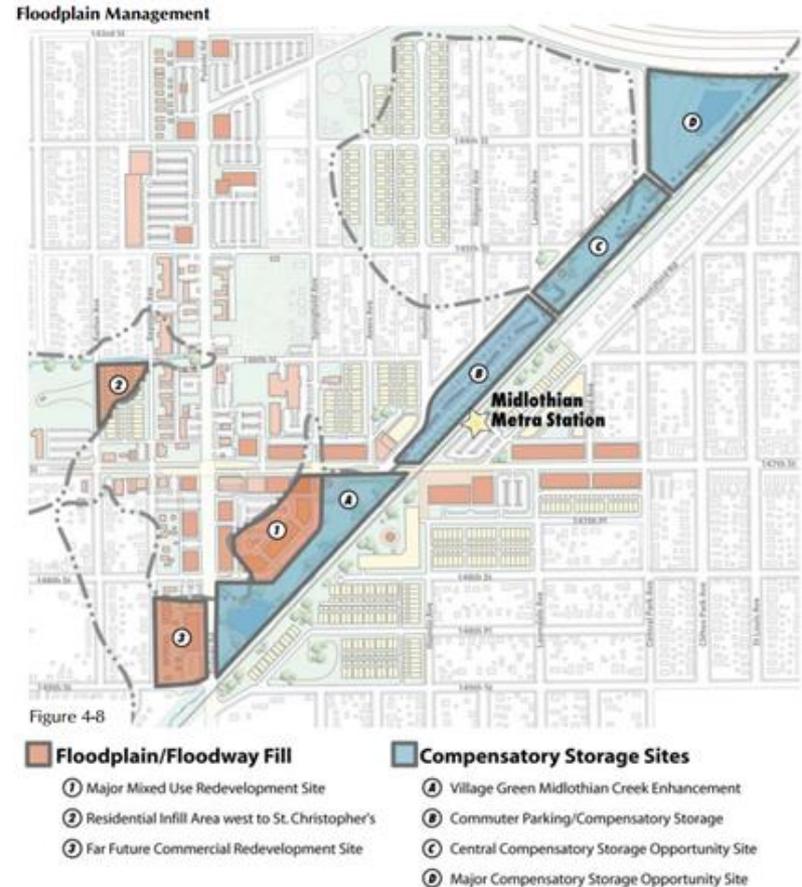
- Focus on development and redevelopment in Floodways and Floodplains
- “Appropriate and creative floodplain management was to be the key to the development of the preferred concept plan”



2005 VILLAGE CENTER ENHANCEMENT PLAN

Areas of Floodplain and Floodway Fill

- Three areas identified as development areas that, if brought out of the Floodway and Floodplain, would become key opportunity sites.
 - Floodplain Fill Area 1 – Major Mixed-Use Development Site - the largest opportunity site in the Study Area.
 - Floodplain Fill Area 2 – Residential Infill Site - large residential redevelopment area.
 - Floodplain Fill Area 3 – Far Future Commercial Redevelopment Site - an opportunity site fronting Pulaski Road.
- 4 Compensatory Storage Sites at \$5 Million Estimated Cost



2011 ACTIVE TRANSPORTATION PLAN



- Recommends existing Natalie Creek Walk Trail be improved and extended
- Recommends create Bike Boulevard Loop linking all important places - Metra Station, connecting to the Village green, parks and residential neighborhood streets.

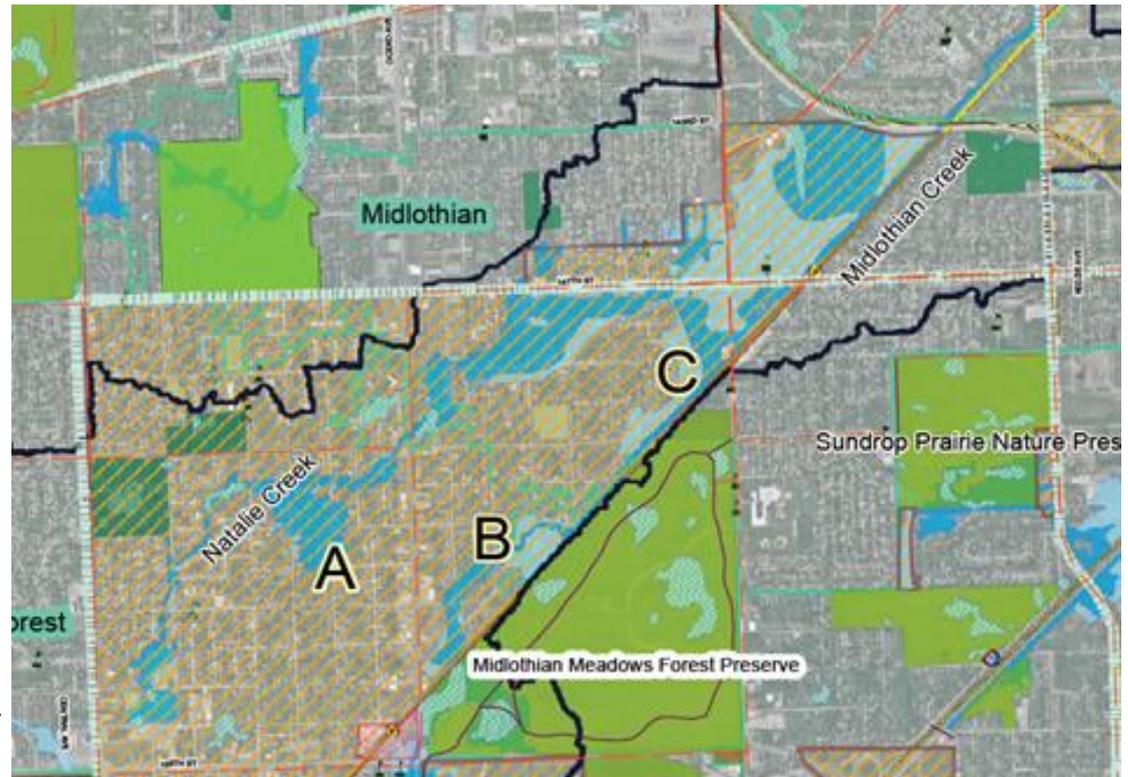
2013 MIDLOTHIAN CREEK GREEN INFRASTRUCTURE PLAN

A + B Natalie Creek Greenspace Flood Reduction and Midlothian Meadows Green Neighborhood Improvements

- Site-based GI installations including:
- Stormwater swales and stormwater “bump-outs” during capital improvement of roads
- Rain gardens and rain barrel programs for residents
- Stormwater tree plantings
- Combined sewer/aging sewer replacement
- Trails and street linkages/streetscapes to neighboring public open space

C. Midlothian Transit-Oriented Development Includes above along with

- Redevelopment into transit-oriented area
- Midlothian Creek Trailway/Bikeway (where feasible)
- Midlothian Creek stream/riparian edge improvement + restoration
- Trails and street linkages/ streetscapes to neighboring public open space and neighborhood park district building
- Address FEMA/MWRD discrepancies



2014 VILLAGE CENTER PLAN



Recommendations of graduate students from the University of Illinois at Chicago

Critical Issue 4: Conflict Between Flood Issues and Development Priorities

- Past planning efforts focused on the Village Center have identified land west of the Metra railway as a focus for new development. **Due to the existence of both a 500 and 100 year flood plain, which covers a significant portion of this property rendering it legally and logistically undevelopable, this land is inappropriate for new development.**
- New development has been prioritized for the area east of the Metra train line. **This new “Core” development project will help provide an anchor tenant in the village center to help spur new retail development while also focusing development outside of areas most impacted by the area’s flooding issues.**

2014 VILLAGE CENTER PLAN



- A: Objective: Visually establish village center as a space and activity center/node.
- B: Strategy: Install gateway features to signify entry points into the Village Center.
- C: Objective: Establish a civic presence in the Village Center
- D: Objective: Establish gazebo park as the civic activity center.
- E: Objective: Enhance green space

2014 VILLAGE CENTER PLAN

Strategies include Green Infrastructure

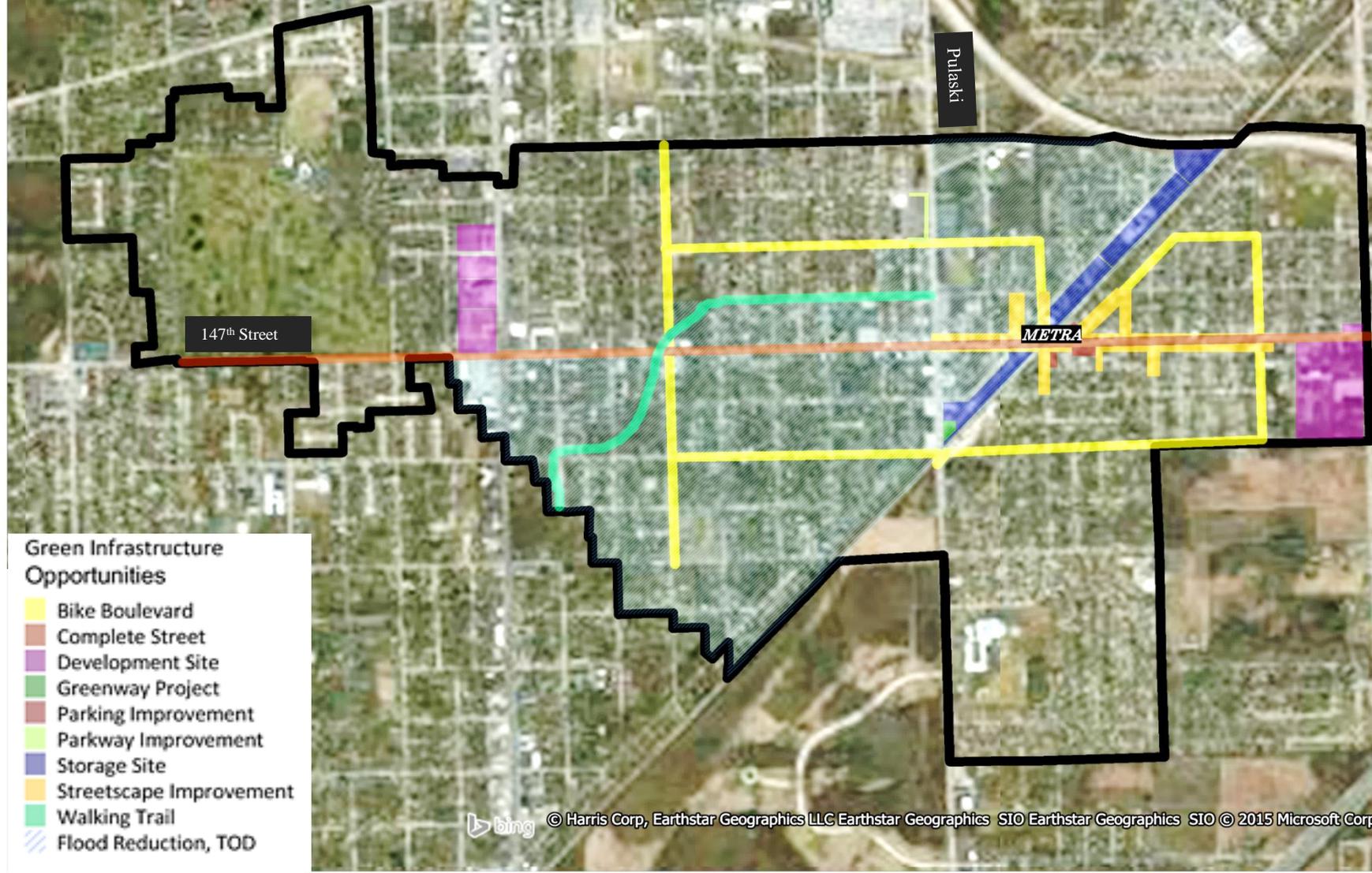
- Green space enhancement-
 - Utilize green infrastructure stormwater best management practices (BMPs) to increase the land's stormwater storage capacity through retention and infiltration.
- Realign parking situation (Metra and new uses – A on the map above)
 - Parking Lot Design Criteria: Should contain a certain percentage of vegetation, trees/parking spot ratio ... stormwater mitigation measures should also be incorporated into these new design standards.
- Implement Road Diets
 - 147th Street as a Complete Street
- Increase of parkway space
 - Require substantial vegetative planters and include storm water mitigation

ADDITIONAL INITIATIVES

- RTA
 - TOD Project. Corridor of sidewalk replacements, decorative crosswalks and decorative pedestrian lighting streets surrounding METRA station
- Illinois Green Infrastructure Grant Project
 - Rain garden, Native Plantings, Porous Pavement and Open Space south of the Village Hall
- Redevelopment Sites
 - Vacant former car dealerships, representing approximately 16 acres, on Cicero Avenue at 145th St
- Kedzie Corridor Revitalization Plan
 - Development of “Superblock” - 147th Street to the north and the Sundrop Prairie Nature Preserve to the south
 - Specific sites on Kedzie Avenue at the northwest corner of 147th and Kedzie and the other on the west side of Kedzie between 147th and 149th Streets.

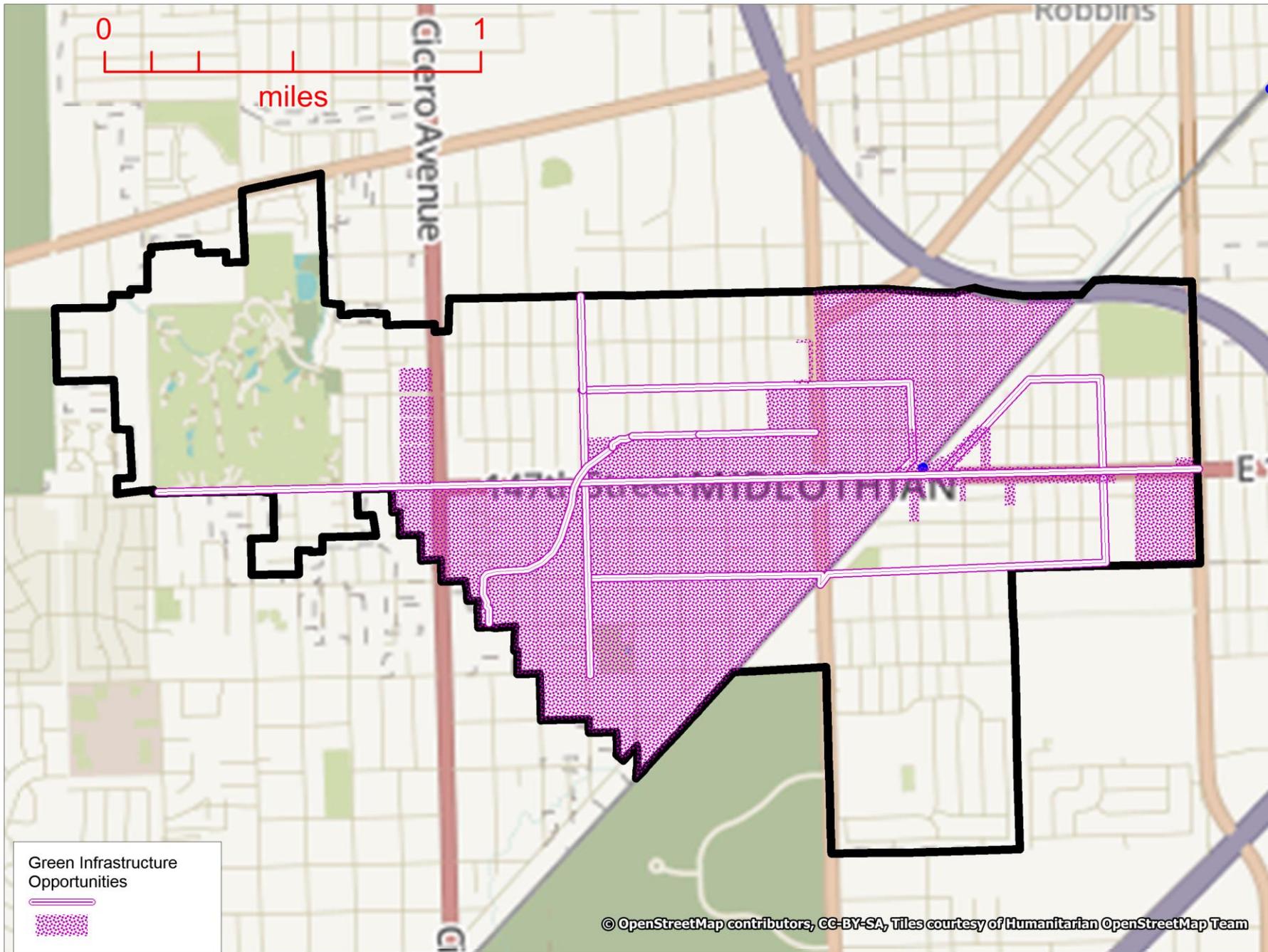


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- Green Infrastructure Opportunities**
- Bike Boulevard
 - Complete Street
 - Development Site
 - Greenway Project
 - Parking Improvement
 - Parkway Improvement
 - Storage Site
 - Streetscape Improvement
 - Walking Trail
 - Flood Reduction, TOD

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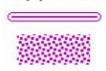
Cicero Avenue

ROBBINS

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Green Infrastructure Opportunities





THANK YOU

Harriet Festing

RainReady.org

cnt.org